

CHECKPOINT INSPECTION SERVICE

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SUMMARY REPORT

Client: Keith Filegar / County of Ventura Watershed Protection Dept.
Inspection Address: Matilija Hot Springs Sanctuary PC 65000002881, Ventura County California
Inspection Date: 2/23/2009 Start: 9:00 am
Inspected by: George Blair

This Summary Report is intended to provide a convenient and cursory preview of some the conditions and components that we have identified within our report as needing service. It is obviously not comprehensive, and should not be used as a substitute for reading the entire report, nor is it a tacit endorsement of the condition of components or features that may not appear in this summary. Also, the service recommendations that we make in this summary and throughout the report should be completed well before the close of escrow by licensed specialists, who will identify additional defects and recommend upgrades that could affect your evaluation of the property.

This report is the exclusive property of the Inspection Company and the client whose name appears herewith, and its use by any unauthorized persons is prohibited.

Components and Conditions Needing Service

Structural

Structural Elements

Wall Structure

- The walls at the post office and kitchen appear to be un reinforced stone

Slab Foundation

Slab Foundation Observations

- There are cracks in the stem wall of the footings that should be evaluated by an engineer or contractor
- The slab floors are significantly uneven throughout the structures and should be evaluated by a specialist
- The slab supports seismically vulnerable masonry walls that should be evaluated by an engineer
- Floor tiles were cracked at the interior

Raised Foundation or Basement

Description of Foundation Type

- The foundations are outdated

Method of Evaluation

- We were unable to access the raised foundation for the reasons indicated within the report

Crawlspace & General Condition

- There is evidence of rodents within the crawlspace that should be evaluated by a specialist
- There is evidence of animal infestation within the crawlspace that should be evaluated by a specialist
- The foundation is in poor condition at the kitchen and cabin 2

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Inspection Address:
Inspection Date/Time:

Matilija Hot Springs Sanctuary PC 6500002881, Ventura County California.
2/23/2009 9:00 am

Ventilation

- Openings in the crawlspace perimeters should be sealed

Intermediate Floor Framing

- There are stains or moisture damage in the crawlspace

Exterior

Site & Other Observations

Neglected Property Observations

- General Observation Regarding Neglected Property

Landscaping Observations

- A tree limb is threatening the roof eaves and should be removed before it damages the roof

Auxiliary Structures Observations

- The dome tent floor is damaged and should be evaluated
- The cabins share recurring defects that would not be practical to itemize

Restricted Head Height Observations

- The metal tee-bars of a clothesline restrict head height clearance in the side yard

Wall Covering or Cladding

Wall Cladding Observations

- There are separations or nail-pops on the siding that need to be serviced
- Portions of the siding are moisture stained or damaged and should be evaluated
- The stucco walls were damaged at the kitchen building
- Portions of the siding are damaged and should be evaluated by a termite inspector at the cabins

Grading and Drainage

Interior-Exterior Elevations

- Grading and drainage is negative or neutral adjacent to the structures and should be monitored
- There is evidence of moisture intrusion within the structure that should be evaluated at the main house

Hillside

- Because this is a hillside property it should have a geological evaluation

Exterior Features

Hard Surfaces

- There are cracks in the hard surfaces that confirm movement

Driveways

- There are offsets in the driveway that could prove to be trip-hazards for children or the elderly

Yard Walls

- Damage was visible at the stone walls

Fences and Gates

- Sections of the fence are leaning or damaged and should be repaired or replaced

Decks

- There is damage to the wood deck that should be evaluated

Steps and Handrails

- The steps are in poor condition
- The steps and handrails do not meet current standards
- Stains and wood damage were noted and should be evaluated

Guardrails

- The guardrails do not conform to current standards in height or in the distance between the pickets

Patio Covers or Gazebos

- There is damage to the tent deck that should be evaluated by the termite inspector

Inspection Address:
Inspection Date/Time:

Matilija Hot Springs Sanctuary PC 6500002881, Ventura County California.
2/23/2009 9:00 am

Fascia and Trim

- The wood trim is significantly damaged throughout the entire property
- Moisture stains were visible on some wood trim

Doors

- The exterior doors need typical maintenance-type service

Concrete Accessories

- Unidentified pipes and or conduits were noted on the property

Lights

- Some of the yards lights are not functional and are not wired to electrical safety standards

Outlets

- The outlets are an obsolete ungrounded type that should be upgraded to have ground-fault protection
- All of the exterior outlets should be upgraded to have ground-fault protection

Exterior showers

- The outdoor showers and tubs are in disrepair and should be evaluated

Roof/Attic

Attic

Framing

- The termite inspector should determine damage to the attic framing
- The framing appears to have been altered at the bathhouse

Composition Shingle Roof

Evaluation of a Composition Roof

- The composition shingle roofs needs to be serviced for the reasons indicated within the report
- The termite report should confirm moisture or dry rot damage to the eaves of the roof
- Visible deflection or sagging was visible at the bath house
- Damage was noted at the composition roof at cabin 4

Flashings

- The roof flashings need to be sealed or serviced
- The toe of the flashing has been lifted and should be serviced
- Improperly installed flashings were visible on the roof

Skylights

- The skylight on the composition shingle roof is an amateur installation and must be monitored or replaced

Gutters and Drainage

- The roof needs to be cleaned and any foliage trimmed away to facilitate drainage
- Some downspouts are missing or need to be serviced

Flat Roof

Age and General Evaluation

- The flat roof is deteriorated and in poor condition and should be evaluated by a specialist
- The roof needs to be cleaned to drain effectively
- There are moisture stains within the property which imply that the flat roof leaks

Flashings

- The roof flashings need to be sealed or serviced
- Missing vent caps and signs of unusual alterations the should be evaluated

Skylights

- The skylights on the flat roof at the pool house are cracked and should be repaired or replaced

Gutters and Drainage

- The roof needs to be cleaned and any foliage trimmed away to facilitate drainage at the pool house
- Water will pond on several areas of the roof where drainage is inadequate

Inspection Address:
Inspection Date/Time:

Matilija Hot Springs Sanctuary PC 6500002881, Ventura County California.
2/23/2009 9:00 am

Plumbing

Potable Water Pipes

Type of Material

- PVC water pipes were noted in the system which is improper

Galvanized Water Pipes

- There is a moderate reduction in water volume and a clamp repair at the main house

Waste and Drainage System

Type of Material

- The building is served by a combination of plastic and cast iron and galvanized pipes

Private Waste Disposal System

- There is an odor of sewage on the property that probably indicates problems with the septic system

Water Heaters

Combustion Chamber

- There are rust particulates within the combustion chamber

Water Shut-Off Valve and Connectors

- Improper piping at the water heater should be evaluated by a qualified plumber

Vent Pipe and Cap

- The vent pipe of the gas water heater is too close to combustible material
- Rust and or moisture stains were visible

Pressure Release Valve and Discharge Pipe

- There is no pressure relief or discharge pipe on the water heater which is necessary in the bathhouse
- The discharge pipe from the relief valve on the water heater should extend to the exterior

Drip Pan and Overflow Pipe

- Moisture stains wood damage and rodent debris were visible in the closets
- Rodent presence noted in multiple water heater locations

Seismic Straps

- The water heaters are not correctly secured and needs to be strapped in accordance with local standards
- All water heaters should be strapped to resist movement several were not

Gas Components

Gas Pipe Observations

- We recommend the fuel provider service all gas systems
- We did not observe a bonding system on the metallic pipes in the property

Fire Suppression System

Fire Sprinklers

- The kitchen fire suppression system was not inspected as we are not qualified to do so

Electrical

Main Panel

Service Entrance Mast Weatherhead etc

- The overhead conductor lines pass too low over the flat or low pitched roof and should be evaluated
- The overhead conductor lines may be stressed by tree limbs that should be trimmed away
- The service entrance mast is made of wood and is loose

Inspection Address:
Inspection Date/Time:

Matilija Hot Springs Sanctuary PC 6500002881, Ventura County California.
2/23/2009 9:00 am

Interior Cover Panel

- The interior cover panel for the main electrical panel is missing and should be replaced

Wiring

- Improper wiring was noted on the kitchen roof

Grounding

- The electrical ground to a water pipe may have been nullified by a plastic water pipe and should be serviced

Sub Panels

Wiring

- Improper wiring was noted in the sub panel

Circuit Breakers

- The electrical sub-panel includes obsolete and oversized screw-in fuses in the bathhouse

Grounding

- Ground wires have been attached to the neutral bus bar which is incorrect in the kitchen

Heat

Heat System 1

Wall Furnace

- The wall furnace needs to be cleaned
- The pilot is off to the wall furnaces which should be serviced before use

Vent Pipe

- The rusty vent pipes should be evaluated further

Chimney

Dining Room Chimney

Free Standing Metal Chimney

- The main residence includes a free-standing metal chimney that has been installed too close to combustibles

Spark Arrestor

- There is no spark arrestor on the chimney which is recommended and should be installed at the dining room

Living Areas

Interiors

Flooring

- Uneven areas were noted in the floors in all the cabins
- Evidence of pests or rodents should be evaluated by qualified specialists

Walls and Ceiling

- There is evidence of moisture intrusion that should be explored further by a specialist at the post office and
- Prior moisture intrusion and damage was visible at the pool house

Single-Glazed Windows

- Windows are moisture damaged in some structures and should be evaluated by a termite inspector
- Window screens are missing or damaged

Lights

- Several ceiling lights did not respond and should be serviced
- There is an open electrical junction box that should be sealed
- Mystery switches were not identified in some rooms

Inspection Address:
Inspection Date/Time:

Matilija Hot Springs Sanctuary PC 65000002881, Ventura County California.
2/23/2009 9:00 am

Outlets

- Some outlets were improperly wired

Entry

Front Door

- There is a crack in the panels of the front door at the main house

Dining Room

Flooring

- The floor is out of level and should be evaluated by a specialist

Lights

- A ceiling light did not respond and should be serviced
- There is an open electrical junction box that should be sealed

Outlets

- Paint is restricting the outlets which you may wish to replace

Bathrooms

Powder Room

Flooring

- The floor is out of level and should be evaluated by a specialist

Toilet

- The toilet is blocked or does not flush adequately and should be serviced as soon as possible
- Foreign materials were visible in the toilet

Lights

- There is an open electrical junction box that should be sealed
- Hazardous improper wiring was noted

Master Bathroom

Walls & Ceiling

- There is evidence of moisture intrusion at the base of the walls that should be explained or explored
- There is a mold-like substance that we will point out which should be evaluated by a specialist

Single-Glazed Windows

- A window will need service to work well such as sanding shaving trimming etc

Sink Countertop

- The bathroom countertop is not secure and should be serviced

Guest Bathroom 1

A Probable Remodel

- The guest bathrooms are not in regular use and were not fully operated

Stall Shower

- The shower drain is missing the grate and should be serviced

Common Areas

Kitchen

Doors

- The kitchen door leading to the exterior is functional but it is not weather sealed
- The kitchen door leading to the exterior is damaged and should be repaired or replaced

Inspection Address:
Inspection Date/Time:

Matilija Hot Springs Sanctuary PC 65000002881, Ventura County California.
2/23/2009 9:00 am

Flooring

- The floor is out of level and should be evaluated by a specialist

Walls and Ceiling

- There is a moisture stain on the kitchen ceiling that should be further evaluated

Trap and Drain

- The drain lines below the sink are incorrectly plumbed and should be evaluated by a plumber
- The sink employs an unconventional flexible drainpipe that could contribute to blockages

Exhaust Fan or Downdraft

- The grease filter or other components are missing from the exhaust fan and should be installed

Lights

- Exposed Romex wires

Outlets

- Improper and hazardous wiring was visible

Pool and Spa

Pool

Enclosures

- The gate that gives pool access does not fully comply with safety standards
- The area enclosing the pool equipment is damaged

Overall Pool Condition

- The pool will need to be serviced for the reasons indicated within the report

Interior Finish of Pool

- The interior finish of the pool is damaged and in poor condition and should be evaluated

Deck and-or Coping Stones

- The pool deck is significantly cracked buckled or heaved and should be evaluated
- The pool deck has been resurfaced with a magnesite compound or a similar product

Expansion Joint

- The expansion joint in the pool deck has cracked and needs to be sealed

Heater

- The pool heater is old and needs service but may not be worth servicing

Outlets and Electrical Issues

- A standard outlet in the pool area is defective and should be upgraded to a ground-fault type
- There is a separated electrical conduit in the pool area that should be serviced
- The electric system in the pool area and the pool house is substandard and unsafe

Spa

In-Ground Spa Condition

- The spas have been drained and were not inspected
- The spa will need to be serviced as indicated within the report

Spa Motors

- One or more of the motors in the equipment area is missing

Supply Lines Return Lines and Valves

- The spa filler valve is no longer functional or may have been abandoned

Inspection Address:
Inspection Date/Time:

Matilija Hot Springs Sanctuary PC 6500002881, Ventura County California.
2/23/2009 9:00 am to

TABLE OF CONTENTS

Cover Page	1
General Inspection Information	2
Scope of Work and Description of Service	4
Structural	6
Structural Elements	6
Slab Foundation	7
Raised Foundation or Basement	8
Exterior	9
Site & Other Observations	10
Wall Covering or Cladding	11
Grading and Drainage	12
Exterior Features	14
Roof/Attic	19
Attic	19
Composition Shingle Roof	20
Flat Roof	21
Plumbing	22
Potable Water Pipes	23
Waste and Drainage System	24
Water Heaters	25
Sprinklers or Irrigation Systems	27
Gas Components	27
Fire Suppression System	28
Electrical	28
Main Panel	28
Sub Panels	29
Heat	31
Heat System 1	31
Heating and Air Conditioning	32
Heat and AC - System 1	32
Chimney	32
Living Room Chimney	33
Dining Room Chimney	33
Living Areas	33
Interiors	34
Entry	36
Dining Room	36
Bathrooms	36
Powder Room	37
Master Bathroom	37
Shared Bathroom	38
Guest Bathroom 1	39
Common Areas	39
Kitchen	39
Laundry	41
Pool and Spa	41
Pool	42
Spa	44
Certifications and Affiliations	46
Report Conclusion	47

This report has been produced in accordance with our signed contract and is subject to the terms and conditions agreed upon therein.
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Confidential Inspection Report

PREPARED FOR:

Keith Filegar / County of Ventura Watershed Protection Dept.

INSPECTION ADDRESS

Matilija Hot Springs Sanctuary PC 65000002881, Ventura County, California.

INSPECTION DATE

2/23/2009 9:00 am



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Inspection Narratives - Page 1

GENERAL INFORMATION

Inspection Address: Matilija Hot Springs Sanctuary PC 65000002881, Ventura County, California
Inspection Date: 2/23/2009 Time: 9:00 am
Weather: Recent Rainfall - Temperature at time of inspection: 70 Degrees

Inspected by: George Blair

Client Information: Keith Filegar / County of Ventura Watershed Protection Dept.
800 S. Victoria, Ventura, California 93009

Structure Type: Masonry / wood frame
Furnished: Partial

Approx. Year Built: Various
People on Site At Time of Inspection: Raymond Powers Caretaker

General Property Conditions

Access to the entire property is limited by overgrown landscaping and the occupants belongings in the yard. We recommend a careful check at your final walk through prior to taking possession of the property.

Multiple plumbing fixtures on the property utilize the waste disposal system which appears private. There is no way to simulate realistic usage and flows during the inspection therefore we recommend a thorough septic inspection including a camera inspection to determine the condition and capacity of the system during regular use.

Approximate square footage of the structures is as follows:

Main House 1066'

Pool House 1127'

Cabin 1543'

Laundry 84'

Toilets 284'

Cabin 4 -141'

Bath house 2021'

Cabin 3- 234' Cabin 2 - 163'

Cabin 5- 172'

Post Office 1000'

Kitchen Dining Room 1228'

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All printed comments and the opinions expressed herein are those of the Inspection Company.

Inspection Narratives - Page 2

Inspection Address: Matilija Hot Springs Sanctuary PC 65000002881, Ventura County California.
Inspection Date/Time: 2/23/2009 9:00 am

The property was not evaluated for compliance with the Americans with Disabilities Act.

This inspection does not include a Phase One Environmental Evaluation.

The property does not comply with current building and safety requirements.

PLEASE NOTE:

This inspection report is not a substitute for the sellers disclosure obligations.

The service recommendations that we made in the report should be completed well before the close of escrow by qualified licensed specialists, who will likely identify additional defects or recommend upgrades that could affect your evaluation of the property.

All defects will not be visible and therefore not identified.

All defects will not be photographed.

Report File: Matilija Hot Springs Sanctuary

SCOPE OF WORK

You have contracted with CHECKPOINT INSPECTION SERVICE to perform a generalist inspection in accordance with the standards of practice established by CREIA, a copy of which is available upon request, and which can be read or downloaded by visiting checkpointinspections.com. Generalist inspections are essentially visual, and distinct from those of specialists, inasmuch as they do not include the use of specialized instruments, the dismantling of equipment, or the sampling of air and inert materials. Consequently, a generalist inspection and the subsequent report will not be as comprehensive, nor as technically exhaustive, as that generated by specialists, and it is not intended to be. The purpose of a generalist inspection is to identify defects or adverse conditions that would warrant a specialist evaluation. Therefore, you should be aware of the limitations of this type of inspection, which are indicated in the standards. However, as a courtesy, we are including some commonplace information about several of the environmental contaminants that could be of concern to you.

There are many environmental contaminants that we do not have the expertise or the authority to test for, such as asbestos, radon, methane, formaldehyde, termites and other wood-destroying organisms, pests and rodents, molds, microbes, bacterial organisms, and electromagnetic radiation, to name some of the better known ones. Nevertheless, we will attempt to alert you to any suspicious substances that would warrant evaluation by a specialist. However, you should also be aware that our use of terminology like "mold," and "asbestos," is intentionally generic, and should not be construed as a statement of fact. Regardless, health and safety, and environmental hygiene is a deeply personal responsibility, and you should make sure that you are familiar with any contaminant that could affect your home environment.

Mold and mildew are different forms of fungi, or microscopic organisms that feed on organic matter and propagate by means of airborne spores. Mold can take many different forms. Some characterized as allergens are relatively benign but can provoke allergic reactions among sensitive people, and others characterized as pathogens can have adverse health effects on large segments of the population, such as the very young, the elderly, and people with suppressed immune systems. However, there are less common molds that are called toxigenic that do represent a health threat. All molds flourish in the presence of moisture, and we make a concerted effort to look for any evidence of it wherever there could be a water source, including that from condensation. Interestingly, the molds that commonly appear on ceramic tiles in bathrooms do not usually constitute a health threat, but they should be removed. However, some visibly similar molds that form on cellulose materials, such as on drywall, plaster, and wood, are potentially toxigenic. If mold is to be found anywhere within a home, it will likely be in the area of tubs, showers, toilets, sinks, water heaters, evaporator coils, inside attics with unvented bathroom exhaust fans, and return-air compartments that draw outside air, all of which are areas that we look at very closely. Nevertheless, mold can appear as though spontaneously at any time, so you should be prepared to monitor the property, and particularly the areas that we have alluded to. Regardless, the specific identification of molds can only be determined by specialists and laboratory analysis, and is absolutely beyond the scope of our inspection. Nonetheless, as a prudent investment in environmental hygiene, we categorically recommend that you consider having your home tested for the presence of any such contaminants.

Asbestos is another notorious contaminant that could be present in any home built before 1978. It is a naturally occurring mineral fiber that was first used by Greeks and Romans in the first century, and it has been widely used throughout the modern world in a variety of thermal insulators, including those in the form of paper wraps, bats, blocks, and blankets. However, it can also be found in a wide variety of other products too numerous to mention, including duct insulation and acoustical materials, plasters, siding, floor tiles, heat vents, and roofing products. Although perhaps recognized as being present in some documented forms, asbestos can only be specifically identified by laboratory analysis. The most common asbestos fiber that exists in residential products is chrysotile, which belongs to the serpentine or white-asbestos group, and was used in the clutches and brake shoes of automobiles for many years. However, a single asbestos fiber is said to be able to cause cancer, and is therefore a potential health threat and a litigious issue. Significantly, asbestos fibers are only dangerous when they are released into the air and inhaled, and for this reason authorities such as the Environmental Protection Agency [EPA] and the Consumer Product Safety Commission [CPSC] distinguish between asbestos that is in good condition, or non-friable, and that which is in poor condition, or friable, which means that its fibers could

Inspection Address:
Inspection Date/Time:

Matilija Hot Springs Sanctuary PC 6500002881, Ventura County California.
2/23/2009 9:00 am

be easily crumbled and become airborne. However, we are not specialists and, regardless of the condition of any real or suspect asbestos-containing material [ACM], we would not endorse it and recommend having it evaluated by a specialist.

Radon is a gas that results from the natural decay of radioactive materials within the soil, and is purported to be the second leading cause of lung cancer in the United States. The gas is able to enter homes through the voids around pipes in concrete floors or through the floorboards of poorly ventilated crawlspaces, and particularly when the ground is wet and the gas cannot easily escape through the soil and disperse into the atmosphere. However, it cannot be detected by the senses, and its existence can only be determined by sophisticated instruments and laboratory analysis, which is completely beyond the scope of our service. However, you can learn more about radon and other environmental contaminants and their affects on health, by contacting the EPA or a similar state agency, and it would be prudent for you to enquire about any high radon readings that might be prevalent in the region surrounding your home.

Lead poses an equally serious health threat. In the 1920's, it was commonly found in many plumbing systems. In fact, the word "plumbing" is derived from the Latin word "plumbum," which means lead. When in use as a component of a waste system, it does not constitute a viable health threat, but as a component of potable water pipes it would certainly be a health-hazard. Although rarely found in use, lead could be present in any home build as recently as the nineteen forties. For instance, lead was an active ingredient in many household paints, which can be released in the process of sanding, and even be ingested by small children and animals chewing on painted surfaces. Fortunately, the lead in painted surfaces can be detected by industrial hygienists using sophisticated instruments, but testing for it is not cheap. There are other environmental contaminants, some of which we have already mentioned, and others that may be relatively benign. However, we are not environmental hygienists, and as we stated earlier we disclaim any responsibility for testing or establishing the presence of any environmental contaminant, and recommend that you schedule whatever specialist inspections might be deemed to be prudent before the close of escrow.

Structural

Foundations are not uniform, and conform to the structural standard of the year in which they were built. We identify foundation types and look for any evidence of structural deficiencies. However, cracks or deteriorated surfaces in foundations are quite common. In fact, it would be rare to find a raised foundation wall that was not cracked or deteriorated in some way, or a slab foundation that did not include some cracks concealed beneath the carpeting and padding. Fortunately, most of these cracks are related to the curing process or to common settling, including some wide ones called cold-joint separations that typically contour the footings, but others can be more structurally significant and reveal the presence of expansive soils that can predicate more or less continual movement. We are keenly aware of cracks, and will alert you to their presence if they are clearly visible. However, we are not specialists, and in the absence of any major defects, we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but this should not deter you from seeking the opinion of any such expert.

Structural Elements

Wall Structure

Informational Conditions

The walls appear conventionally framed with wooden studs. The frame is not visible. At the cabins and bath house.

The framed walls includes post-and-beam construction. At cabin 3.

The walls are comprised of cinder blocks or masonry components.

At the main house and pool house and the kitchen buildings.

The interior of the walls is not visible.

Components and Conditions Needing Service

The walls at the post office and kitchen appear to be un reinforced stone, which is a seismic hazard that should be investigated further.



Floor Structure

Informational Conditions

The floor structure consists of a poured slab that could include reinforcing steel.

The floor structure consists of posts piers girders and joists sheathed with plywood or diagonal boards.

The floor structure is built with components that are not accessible or visible.

Ceiling Structure

Informational Conditions

The ceiling structures consists of standard joists.

The ceiling structures are not visible fully.

Roof Structure

Informational Conditions

The roof structures are conventionally framed with rafters, purlins, collar-ties, et cetera.

The roof structure is not visible

Slab Foundation

General Comments and Description

This building has a slab foundation. Such foundations vary considerably from older ones that have no moisture barrier under them and no reinforcing steel within them to newer ones that have both. Our inspection of slab foundations conforms to industry standards, which is that of a generalist and not a specialist. We check the visible portion of the stem walls on the outside for any evidence of significant cracks or structural deformation, but we do not move furniture or lift carpeting and padding to look for cracks, and we do not use any of the specialized devices that are used to establish relative elevations and confirm differential movement. Significantly, many slabs are built or move out of level, but the average person may not become aware of this until there is a difference of more than one inch in twenty feet, which most authorities regard as being tolerable.

Many slabs are found to contain cracks when the carpet and padding are removed, including some that contour the edge and can be quite wide. They typically result from shrinkage and usually have little structural significance. However, there is no absolute standard for evaluating cracks, and those that are less than 1/4" and which exhibit no significant vertical or horizontal displacement are generally not regarded as being significant. They typically result from common shrinkage, but can also be caused by a deficient mixture of concrete, deterioration through time, seismic activity, adverse soil conditions, and poor drainage, and if they are not sealed they can allow moisture to enter a residence, and particularly if it is surcharged by a hill or slope, or if downspouts discharge adjacent to the slab. However, in the absence of any major defects, we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but this should not deter you from seeking the opinion of any such expert.

Method of Evaluation

Informational Conditions

We evaluated the slab foundation on the exterior, by examining the stem walls that project above the footing.

Slab Foundation Observations

Informational Conditions

There is a large tree adjacent to the slab that does not appear to have affected it as yet, but you may wish to have an arborist predict its growth or root movement, which could adversely affect the slab in the future.



Components and Conditions Needing Service

There are significant cracks in the stem walls of the slab foundation.

Inasmuch as they are larger than common shrinkage cracks and indicate structural movement, we recommend that they be evaluated by a specialist and sealed or serviced as necessary.

The slab floors are significantly uneven. This could be indicative of substandard construction or significant differential settling that resulted in slab fractures. Regardless, the slab should be evaluated by a specialist.



Some of the load-bearing walls of the slab structures are masonry, as opposed to being wood-framed. Such

Inspection Address:
Inspection Date/Time:

Matilija Hot Springs Sanctuary PC 6500002881, Ventura County California.
2/23/2009 9:00 am

walls are seismically vulnerable, and we recommend that you consult a structural engineer who can speak with more authority about this issue, so that you can better understand the structural implications of this. Floor tiles were cracked at the interior and may indicate some movement of the slab below. At the bath house. The slab is not fully visible. We recommend further evaluation.

Raised Foundation or Basement

General Comments

This property has a raised foundation. Such foundations permit access, and provide a convenient area for the distribution of water pipes, drain pipes, vent pipes, electrical conduits, and ducts. However, although raised foundations are far from uniform, most include concrete footings and walls that extend above the ground with anchor bolts that hold the house onto the foundation, but the size and spacing of the bolts vary. In the absence of major defects, most structural engineers agree that the one critical issue with raised foundations is that they should be bolted. Our inspection of these foundations conforms to industry standards, which is that of a generalist and not a specialist, and we do not use any specialized instruments to establish that the structure is level. We typically enter all accessible areas, to confirm that foundations are bolted and to look for any evidence of structural deformation or damage, but we may not comment on minor deficiencies, such as on commonplace settling cracks in the stem walls and slight deviations from plumb and level in the intermediate floor framing, which would have little structural significance. Interestingly, there is no absolute standard for evaluating cracks, but those that are less than 1/4" and which do not exhibit any vertical or horizontal displacement are generally not regarded as being structurally relevant. Nevertheless, all others should be evaluated by a specialist. However, in the absence of any major defects, we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but this should not deter you from seeking the opinion of any such expert.

Description of Foundation Type

Components and Conditions Needing Service

The foundations are outdated by current standards and should be evaluated by qualified specialists who will likely make recommendations for upgrades and or repairs. Deck style post and beam foundations.



Method of Evaluation

Informational Conditions

We cannot access all areas of the foundation crawlspace due to the obstructions. Ductwork, plumbing, storage and or debris.



The crawlspace was not inspected, at cabin 3 there was no access located.

Components and Conditions Needing Service

We were unable to access the raised foundation for the following reasons: debris and rodent infestations

Crawlspace & General Condition

Informational Conditions

Debris was noted in the foundation crawlspace.

Components and Conditions Needing Service

There is evidence of rodents within the crawlspace, which authorities recognize as a possible health threat, that should be evaluated for service by a specialist as soon as possible.

There is evidence of animal presence within the crawlspace, which authorities recognize as a significant health threat, that should be evaluated for service by a specialist as soon as possible. Animal urine and feces can contaminate not only the crawlspace and its components, including insulation, ducts, and conduits, but can eventually contaminate the living space.

The foundation is in poor condition, damage should be evaluated by a foundation specialist. At the kitchen and cabin 2



Ventilation

Components and Conditions Needing Service

Openings in the crawlspace perimeters should be sealed, to prevent access to pests.

Intermediate Floor Framing

Informational Conditions

There are some deviations from plumb or level in the intermediate floor framing.

Components and Conditions Needing Service

There are stains or moisture damage to the sub-floor visible from the crawlspace.

See the termite report for more information.

Floor Insulation

Informational Conditions

There is no floor insulation, which would not have been required when this property was constructed.

Exterior

We evaluate the following exterior features: driveways, walkways, fences, gates, handrails, guardrails, yard walls, carports, patio covers, decks, building walls, fascia and trim, balconies, doors, windows, lights, and outlets. However, we do not evaluate any detached structures, such as storage sheds and stables, and we do not water test or evaluate subterranean drainage systems or any mechanical or remotely controlled components, such as driveway gates. Also, we do not typically evaluate landscape components, such as trees, shrubs, fountains, ponds, statuary, pottery, fire pits, Barbeques, patio fans, heat lamps, and decorative or low-voltage lighting. Similarly, we do not usually comment on coatings or cosmetic deficiencies and the wear and tear associated with the passage of time, which would be apparent to the average person. However, cracks in hard surfaces can imply the presence of expansive soils that can result in continuous movement, but this could only be confirmed by a geological evaluation of the soil.

Inspection Address:
Inspection Date/Time:

Matilija Hot Springs Sanctuary PC 6500002881, Ventura County California.
2/23/2009 9:00 am

Site & Other Observations

Renovated Property Observations

Informational Conditions

The property has been renovated or remodeled. Therefore, you should request documentation that would include permits and any warranties or guarantees that might be applicable, because we do not approve of, or tacitly endorse, any work that was completed without permits, and latent defects could exist.



Neglected Property Observations

Informational Conditions

The structure and its components are significantly moisture damaged, and will require a thorough and extensive evaluation by a termite inspector.



Components and Conditions Needing Service

The property has been neglected, and we will not comment further on the obvious and numerous deficiencies. However, you should walk the property and obtain estimates from a general contractor, because the cost of renovation could affect your evaluation of the property.

Landscaping Observations

Informational Conditions

There are trees on this property that we do not have the expertise to evaluate, You may wish to have them examined by an arborist.

There are tree limbs overgrowing the structure that should be trimmed or monitored, to insure that they do not impact or damage the roof or its components.

There are oak trees on this property, which we do not have the expertise to evaluate. However, there are local ordinances that prevent some of them from being removed or significantly pruned without a permit, and you may wish to have them examined by an arborist.

Vegetation is encroaching on the structure, and should be kept a minimum of twelve inches away for the general welfare of the walls and foundation.



Components and Conditions Needing Service

This report has been produced in accordance with our signed contract and is subject to the terms and conditions agreed upon therein.

All printed comments and the opinions expressed herein are those of the Inspection Company.

A tree limb is threatening the roof eaves, and should be removed by an arborist before it damages the roof eaves.

Auxiliary Structures Observations

Components and Conditions Needing Service

The dome tent floor is damaged and should be evaluated by a contractor to determine the extent of damage and costs to repair. Evidence of pest presence.



The cabins share recurring defects that would not be practical to itemize: Sub standard electric. Sloping floors indicating movement. Moisture and or pest damaged wood. Pest infestations not limited to rats and mice. Cabin 5 was not inspected, I did not see it on the site.

Restricted Head Height Observations

Components and Conditions Needing Service

The tee-bars of a clothesline restrict head height clearance in the yard and pose a safety hazard. If you intend to continue using this structure, persons not familiar with the property should be warned accordingly, or a cautionary notice should be posted.



Zoning Observations

Informational Conditions

There are separate living quarters, or individual units, on this property that should conform to local ordinances. Therefore, verify the zoning and obtain permits and certificates of occupancy for your records, because we do not endorse nor tacitly approve of any structure or component that is non-conforming.

Wall Covering or Cladding

Type of Material

Informational Conditions

The exterior walls are clad with stucco.

The exterior walls are clad with a combination of siding, and a masonry veneer

The exterior walls are clad with wooden siding.

The exterior walls consist of cinder blocks. Any reinforcement will not be visible.

A small amount of step cracking was visible.

Wall Cladding Observations

Informational Conditions

Cracks were visible in the stucco surfaces.

Inspection Address:
Inspection Date/Time:

Matilija Hot Springs Sanctuary PC 6500002881, Ventura County California.
2/23/2009 9:00 am

The stucco extends down to the soil without the benefit of a weep-screed. Weep screed is a horizontal strip of metal that separates the walls from the foundation, and allows them to move independently, and prevents the plate-line cracks that are commonly seen near the base of many stuccoed walls. It has the added benefit of isolating the stucco from the soil, and inhibits the wicking effect of moisture being drawn up into the stucco, which in turn causes the flaking and peeling that is common at the base of many stuccoed walls.

Worn and or missing caulk should be serviced, to prevent moisture intrusion.
There is no flashing at the masonry veneer , which could allow moisture intrusion. At Cabin 3.
At the main house.



Components and Conditions Needing Service

There are separations or nail-pops on the siding that need to be serviced.
Portions of the siding are moisture stained or damaged and should be evaluated.
The stucco walls were damaged, at the rear and side of the kitchen building, and possible insect damage was noted at the exposed wood framing. We recommend further evaluation by a contractor or termite inspector prior to close of escrow.
Portions of the siding are damaged, and should be evaluated and serviced as necessary by a termite inspector.

Grading and Drainage

General Comments and Description

All structures are dependent on the soil beneath them for support, but soils are not uniform. Some that might appear to be firm and solid can liquefy and become unstable during seismic activity. Also, there are soils that can expand to twice their volume with the influx of water and move structures with relative ease, raising and lowering them and fracturing slabs and other hard surfaces. In fact, expansive soils have accounted for more structural damage than most natural disasters. Water can be equally destructive, and can foster conditions that are deleterious to health. For this reason, the ideal property will have soils that slope away from the residence and the interior floors will be several inches higher than the exterior grade. Also, the building will have roof gutters and downspouts that discharge into area drains with catch basins that carry water away to hard surfaces. If a property does not meet this ideal, or if any portion of the interior floor is below the exterior grade, we cannot endorse it and recommend that you consult with a grading and drainage contractor, even though there may not be any evidence of moisture intrusion. We have confirmed moisture intrusion in properties when it was raining that would not have been apparent otherwise. Also, in conjunction with the cellulose material found in most modern structures, moisture can facilitate the growth of biological organisms that can compromise wood framing or produce molds that are deleterious to health.

See the seller for information on past drainage issues if any.

Evidence of poor drainage patterns were noted on the property. A grading and drainage contractor should be consulted.

A pool of white water was noted at the stream bank that should be evaluated. An unusual odor was noted maybe sewage from a gray water line drain or a malfunctioning septic system or possibly from the mineral hot springs.

Inspection Address:
Inspection Date/Time:

Matilija Hot Springs Sanctuary PC 65000002881, Ventura County California.
2/23/2009 9:00 am



Moisture Dampness or Mold-like Substances

Informational Conditions

Moisture is a perennial problem, with which you should be aware. It involves a host of interrelated factors, and can be unpredictable, intermittent, or constant. When moisture intrusion is not self evident, it can be inferred by musty odors, peeling paint or plaster, efflorescence, or salt crystal formations, rust on metal components, and wood rot. However, condensation and humidity can produce similar conditions if the temperature in an area is not maintained above the dew point. Regardless, if the interior floors are at the same elevation or lower than the exterior grade we could not rule out the potential for moisture intrusion and would not endorse any such areas. Nevertheless, we recommend a specialist inspection.

Drainage Mode

Informational Conditions

The general topography directs water toward the structures, not only surface water but subterranean as well. Subsurface drainage may have been installed when the site was graded, but we have no knowledge of this, and there is evidence that moisture intrusion has occurred. You should have a geologist and a grading and drainage contractor evaluate.



Interior-Exterior Elevations

Components and Conditions Needing Service

Grading and drainage is either negative or neutral adjacent to the structure, and moisture intrusion will remain a possibility. The soil or the hard surfaces should slope away from the residence to a distance of at least six feet, to keep moisture away from the footings. We can elaborate on this issue, but you should seek a second opinion from a grading and drainage contractor.

There is evidence of moisture intrusion within the main house, that should be evaluated by a grading and drainage contractor. At the french doors to the rear yard.



Hillside

Components and Conditions Needing Service

Because this is a hillside property, it should have a geological evaluation that should include an evaluation of other important and related issues such as grading and drainage.

Exterior Features

General Comments and Description

It is important to maintain a property, including painting or sealing walkways, decks, and other hard surfaces, and it is particularly important to keep the house walls sealed, which provide the only barrier against deterioration. Unsealed cracks around windows, doors, and thresholds can permit moisture intrusion, which is the principle cause of the deterioration of any surface. Unfortunately, the evidence of such intrusion may only be obvious when it is raining. We have discovered leaking windows while it was raining that might not have been apparent otherwise. There are many styles of windows but only two basic types, single and dual-glazed. Dual glazed windows are superior, because they provide a thermal as well as an acoustical barrier. However, their hermetic seals can fail at any time and allow condensation to form between the panes that is only clearly visible under certain temperature conditions, which is why we disclaim an evaluation of hermetic seals.

Hard Surfaces

Components and Conditions Needing Service

There are cracks in the hard surfaces that confirm movement, and further evaluation is recommended.

Driveways

Informational Conditions

Asphalt driveways are not as durable as concrete ones, and typically develop cracks. They are expected to last approximately fifteen to twenty years, and typically need maintenance service.

Components and Conditions Needing Service

There are offsets in the driveway that could prove to be trip-hazards, and particularly for children or the elderly, which you should evaluate for repairs.



Walkways

Informational Conditions

There are offsets in the walkways that could prove to be trip-hazards.

Some parts of the walkways are coated with moss or lichens, which is due to the absence of direct sunlight, and moisture which could be slippery and should be used with caution.

Yard Walls

Informational Conditions

Some portions of the yard walls are obscured by foliage or other material and could not be thoroughly examined.

Inspection Address:
Inspection Date/Time:

Matilija Hot Springs Sanctuary PC 6500002881, Ventura County California.
2/23/2009 9:00 am



Components and Conditions Needing Service

Damage was visible at the stone walls, Loose pieces, loose mortar.

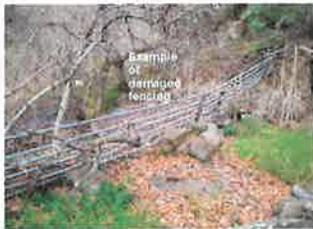
Fences and Gates

Informational Conditions

The fences and gates have damage that is commensurate with their age.

Components and Conditions Needing Service

Sections of the fence are leaning or damaged and should be repaired or replaced.



Decks

Informational Conditions

Earth wood contact was noted at the deck which is not ideal.

Components and Conditions Needing Service

There is damage to the wood deck that should be evaluated by a termite inspector and a contractor.



Steps and Handrails

Informational Conditions

The steps on the property have uneven treads or risers or are loose or otherwise may be a trip hazard which should be addressed to improve safety.

Steps should be uniform to prevent trip-hazards.

As a safety precaution, we recommend installing handrails on steps that have three or more risers, and particularly if children or the elderly visit or occupy the property.

Inspection Address:
Inspection Date/Time:

Matilija Hot Springs Sanctuary PC 65000002881, Ventura County California.
2/23/2009 9:00 am



Earth wood contact was noted at the exterior stairs which will lead to premature decay.

Components and Conditions Needing Service

The steps are in poor condition and represent a safety hazard they should be addressed to improve safety.

The steps and handrails do not meet current standards, and we recommend upgrades to improve safety.

Stains and wood damage were noted and should be evaluated. See the termite report or a contractor for repair or evaluation.

Guardrails

Components and Conditions Needing Service

The guardrails do not conform to current standards. They should be a minimum of thirty-six inches high with pickets no more than four inches apart, and appropriate precautions should be taken to safeguard children and the elderly.



Patio Covers or Gazebos

Components and Conditions Needing Service

There is damage to the tent deck that should be evaluated by the termite inspector.

Fascia and Trim

Informational Conditions

The termite report should identify any damage to portions of the fascia board and wood trim.



Components and Conditions Needing Service

The wood trim is significantly damaged, in many areas and should be further evaluated by a contractor or termite inspector.

Moisture stains were visible on some wood trim, at the windows and doors.

Doors

Informational Conditions

An exterior door is substandard in height or width, and may have been added without a permit. Such doors are

Inspection Address:
Inspection Date/Time:

Matilija Hot Springs Sanctuary PC 6500002881, Ventura County California.
2/23/2009 9:00 am

required to be eighty-inches high and a minimum of thirty-two inches in width.



We were unable to determine whether the glass in the exterior doors is safety glass or tempered glass which is required by current standards for safety.

An exterior door will need service to operate properly:

Components and Conditions Needing Service

The exterior doors need typical maintenance-type service. Worn and weathered exteriors.

Screens

Informational Conditions

A few of the window screens are missing. Screens are often removed for aesthetic reasons, but you may wish to have them installed.

A few of the window screens are damaged.

Concrete Accessories

Informational Conditions

The landscaping includes pre-cast concrete or metal accessories, such as benches, fountains, bird-baths, large pots, or statuary. Although we disclaim an evaluation of all such items, many consist of heavy, stacked or balanced, components that can represent a safety hazard, and particularly to children. Therefore, you should verify that such components are adequately anchored or otherwise safe.

Water features are not inspected.



Components and Conditions Needing Service

Unidentified pipes and or conduits were noted on the property, see the seller for information.



Fire Pits

Informational Conditions

There is a fire pit or B.B.Q. on the property that we did not evaluate, and which you may wish to have

Inspection Address:
Inspection Date/Time:

Matilija Hot Springs Sanctuary PC 6500002881, Ventura County California.
2/23/2009 9:00 am

demonstrated.
Barbeques are not tested or inspected.



Lights

Informational Conditions

We do not evaluate low-voltage or decorative lights, such as Malibu lights, which you may wish to have the sellers demonstrate.

Mystery Switches were not identified: See the seller for information.

Components and Conditions Needing Service

Some of the yards lights are not functional and are not wired to electrical safety standards, and should be evaluated for safety.



Outlets

Components and Conditions Needing Service

The outlets are an obsolete, ungrounded type that should be upgraded to have ground-fault protection.
All of the exterior outlets should be upgraded to have ground fault protection.



Unidentified pipes

Informational Conditions

Many unidentified pipes and or conduits were noted in the yard, many were hidden in the foliage and a complete inspection was not possible. See the seller for more information on pipes and conduits that may or may not be active.

Exterior showers

Components and Conditions Needing Service

The outdoor showers and tubs are in disrepair and should be evaluated, dry tubs and damaged showers.
The pond in the rear of the bathhouse was not inspected but noted to be full of water during the inspection.



Roof/Attic

There are many different roof types, which we evaluate by walking on their surfaces. If we are unable or unwilling to do this for any reason, we will indicate the method that was used to evaluate them. Every roof will wear differently relative to its age, the number of its layers, the quality of its material, the method of its application, its exposure to direct sunlight or other prevalent weather conditions, and its maintenance. Regardless of its design-life, every roof is only as good as the waterproof membrane beneath it, which is concealed and cannot be examined without removing the roof material, and this is equally true of almost all roofs. In fact, the material on the majority of pitched roofs is not designed to be waterproof only water-resistant. However, what remains true of all roofs is that, whereas their condition can be evaluated, it is virtually impossible for anyone to detect a leak except as it is occurring or by specific water tests, which are beyond the scope of our service. Even water stains on ceilings, or on the framing within attics, will not necessarily confirm an active leak without some corroborative evidence, and such evidence can be deliberately concealed. Consequently, only the installer can credibly guarantee that a roof will not leak, and they do. We evaluate every roof conscientiously, but we will not predict its remaining life expectancy, or guarantee that it will not leak. Naturally, the sellers or the occupants of a residence will generally have the most intimate knowledge of the roof and of its history. Therefore, we recommend that you ask the sellers about it, and that you either include comprehensive roof coverage in your home insurance policy, or that you obtain a roof certification from an established local roofing company.

Attic

Framing

Informational Conditions

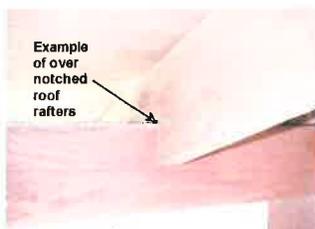
Some of the framing connections within the attic would not meet current standards and may be seismically vulnerable. Therefore, you may wish to have them upgraded.

Components and Conditions Needing Service

The termite inspector should determine if there is damage to the attic framing.

The framing appears to have been altered, check permits for information regarding any alterations or additions that may have been done to the buildings.

Over notched roof rafters, missing post at the entry, at the bathhouse.



Composition Shingle Roof

General Comments and Description

There are a wide variety of composition shingle roofs, which are comprised of asphalt or fiberglass materials impregnated with mineral granules that are designed to deflect the deteriorating ultra-violet rays of the sun. The commonest of these roofs are warranted by manufacturers to last from twenty to twenty-five years, and are typically guaranteed against leaks by the installer for three to five years. The actual life of the roof will vary, depending on a number of interrelated factors besides the quality of the material and the method of installation. However, the first indication of significant wear occurs when the granules begin to separate and leave pockmarks or dark spots. This is referred to as primary decomposition, which means that the roof is in decline, and therefore susceptible to leakage. This typically begins with the hip and ridge shingles and to the field shingles on the south facing side. This does not mean that the roof is ready to be replaced, but that it should be serviced or monitored. Regular maintenance will certainly extend the life of any roof, and will usually avert most leaks that only become evident after they have caused other damage.

Evaluation of a Composition Roof

Components and Conditions Needing Service

The composition shingle roof needs to be serviced.

This service should be scheduled well before the close of escrow, because additional defects could be revealed by a specialist, and our service does not include any guarantee against leaks.

The termite report should confirm moisture or dry rot damage to the eaves of the roof, but a licensed roofing contractor should determine the reasons for the damage and service the roof shingles as necessary.

Visible deflection or sag was visible, at the bathhouse, which should be evaluated further.



Damage was noted at the composition roof, which should be evaluated and repaired as needed by a qualified roofing specialist. At cabin 4



Flashings

Components and Conditions Needing Service

The roof flashings need to be sealed or serviced. They are comprised of metal that seals valleys and vents and other roof penetrations, and are the most common point of leaks. This is particularly true of the flashings on a layered roof, which are covered by the roofing material and which are even more susceptible to leaks.

The toe of the flashing has been lifted,, and should be serviced.

Inspection Address:
Inspection Date/Time:

Matilija Hot Springs Sanctuary PC 65000002881, Ventura County California.
2/23/2009 9:00 am

Improperly installed flashings were visible on the roof, loose drip edge, signs of prior repairs. We recommend further evaluation and regular maintenance.

Skylights

Informational Conditions

The composition shingle roof includes a wide skylight without a cricket to divert water around it. This can be problematic, and a common point of leaks, and the area around the skylight must be kept clean and monitored.

Components and Conditions Needing Service

The skylight on the composition shingle roof is an amateur installation that could leak. Standard skylights are curb-mounted, sit several inches above the roof surface, and are sealed with metal flashings to prevent leaks, and any skylight without these features is suspect and should be replaced or monitored.



Gutters and Drainage

Informational Conditions

The composition shingle roof does not have a complete system of gutters and downspouts, which are recommended to carry water away from the perimeter of the residences.

Components and Conditions Needing Service

The roof needs to be cleaned and any foliage trimmed away to facilitate drainage. Some downspouts are missing, damaged, or need to be reconnected or serviced.

Flat Roof

General Comments and Description

Flat roofs are designed to be waterproof, not just water resistant, and to last approximately fifteen years. They are rarely flat, and generally slope toward drains, in or near surrounding parapet walls. However, water ponds on many of these roofs that will only be dispersed by evaporation. For this and related reasons, flat roofs have always been problematic and must be maintained. They are comprised of several layers of rolled roofing materials, which are either hot-mopped or torched-down, that expand and contract in the daily and sometimes radical temperature extremes, and eventually buckle, split, separate, and finally deteriorate. When this happens, the roof is susceptible to leaks. However, although gradual decomposition of the roofing materials is inevitable, most leaks result from poor maintenance. Therefore, regardless of the age of a flat roof, it should be inspected seasonally, kept clean, and serviced frequently. Although less expensive than other roofs, they can end up costing more if they are not maintained.

Method of Evaluation

Informational Conditions

We evaluated the roof and its components by walking its surface.

Age and General Evaluation

Components and Conditions Needing Service

This roof is in poor condition and should be repaired, replaced, or evaluated by a roofing contractor before the close of escrow, or it may leak.

The roof needs to be cleaned to drain effectively.

There are moisture stains within the property, which we will identify, that imply that the roof leaks. However, leakage can be difficult to confirm, and you should ask the sellers about this.



Flashings

Components and Conditions Needing Service

The roof flashings need to be sealed or serviced. They are comprised of metal that seals valleys and vents and other roof penetrations, and are the most common point of leaks. This is particularly true of the flashings on a layered roof, which are covered by the roofing material and which are even more susceptible to leaks. Missing vent caps and signs of unusual alterations the should be evaluated on the roof. Post office and Kitchen.

Skylights

Informational Conditions

The area around the skylight has been swabbed with hot tar or mastic. This is unconventional, and indicative of an amateur installation or confirmation of a leak. Regardless, tar and mastic do not provide an adequate or permanent seal. Consequently, the skylight could leak and must be monitored or removed and installed correctly.

Components and Conditions Needing Service

The skylights on the flat roof is cracked and could leak, and should be repaired or replaced. At the pool house and the bath house



Gutters and Drainage

Components and Conditions Needing Service

The roof needs to be cleaned and any foliage trimmed away to facilitate drainage. Pool house. There are areas of this roof on which water will pond, and from which there is no provision to drain it. Obviously, some water will be dispersed by evaporation, but flat roof can be problematic under ideal conditions and it will be essential to provide a more positive means of draining this roof. Therefore, you should seek a second opinion from a roofing contractor before the close of escrow.

Plumbing

Plumbing systems have common components, but they are not uniform. In addition to fixtures, these components include gas pipes, potable water pipes, drain and vent pipes, shut-off valves, which we do not test if they are not in daily use, pressure regulators, pressure relief valves, and water-heating devices. The best and most dependable water pipes are copper, because they are not subject to the build-up of minerals that bond within galvanized pipes, and gradually restrict their inner diameter and reduce water volume. Water softeners can remove most of these minerals, but not once they are bonded within the pipes, for which there would be no

Inspection Address:
Inspection Date/Time:

Matilija Hot Springs Sanctuary PC 65000002881, Ventura County California.
2/23/2009 9:00 am

remedy other than a re-pipe. The water pressure within pipes is commonly confused with water volume, but whereas high water volume is good high water pressure is not. In fact, whenever the street pressure exceeds eighty pounds per square inch a regulator is recommended, which typically comes factory preset between forty-five and sixty-five pounds per square inch. However, regardless of the pressure, leaks will occur in any system, and particularly in one with older galvanized pipes, or one in which the regulator fails and high pressure begins to stress the washers and diaphragms within the various components.

Waste and drainpipes pipes are equally varied, and range from modern acrylonitrile butadiene styrene (ABS) ones to older ones made of cast-iron, galvanized steel, clay, or a cardboard-like material that is coated with tar. The condition of these pipes is usually directly related to their age. Older ones are subject to damage through decay and root movement, whereas the more modern ABS ones are virtually impervious to damage, although isolated batches of them have been alleged to be defective. However, inasmuch as significant portions of drainpipes are concealed, we can only infer their condition by observing the draw at drains. Nonetheless, blockages will occur in the life of any system, but blockages in drainpipes, and particularly in main drainpipes, which we recommend having video-scanned. This could also confirm that the house is connected to the public sewer system, which is important because all private systems must be evaluated by specialists before the close of escrow.

Potable Water Pipes

Type of Material

Informational Conditions

The property is served by a combination of galvanized and copper potable water pipes.

Components and Conditions Needing Service

PVC water pipes were noted in the system which is improper, we recommend further evaluation of this system by a qualified plumbing specialist.



Water Main Location

The main water line was not located and or identified.

Galvanized Water Pipes

Informational Conditions

The galvanized pipes are not visible fully, some pipes have been painted.

Components and Conditions Needing Service

The potable water pipes within this residence are galvanized, and assumed to be original. They may produce rusty looking water from time to time and, because the water volume in such pipes will gradually be reduced by a build-up of minerals within them, we do not fully endorse them. However, there is already a moderate reduction in volume when two or more fixtures are in use at the same time. However, there is a clamp on a pipe, which should only be regarded as a temporary fix, and which usually predicates further leaks, and this pipe should be replaced by a plumber, who can also apprise you of the cost of a copper re-pipe.

Inspection Address:
Inspection Date/Time:

Matilija Hot Springs Sanctuary PC 65000002881, Ventura County California.
2/23/2009 9:00 am



Copper and Galvanized Pipes

Informational Conditions

The potable water pipes within this property are predominantly galvanized, and are assumed to be original. They will produce rusty looking water from time to time and, because the water volume in such pipes will gradually be reduced by a build-up of minerals within them, we do not fully endorse them. However, some of these pipes have been replaced with copper ones, and you should expect to continue replacing others.

Pipe Insulation

Informational Conditions

The pipes are not insulated, which would be required by current standards to conserve energy and prevent freezing .

Waste and Drainage System

General Comments and Description

We attempt to evaluate drain pipes by flushing every drain that has an active fixture while observing its draw and watching for blockages or slow drains, but this is not a conclusive test and only a video-scan of the main line would confirm its actual condition. However, you can be sure that blockages will occur, usually relative in severity to the age of the system, and will range from minor ones in the branch lines, or at the traps beneath sinks, tubs, and showers, to major blockages in the main line. The minor ones are easily cleared, either by chemical means or by removing and cleaning the traps. However, if tree roots grow into the main drain that connects the structure to the public sewer, repairs could become expensive and might include replacing the entire main line. For these reasons, we recommend that you ask the sellers if they have ever experienced any drainage problems, or you may wish to have the main waste line video-scanned before the close of escrow. Failing this, you should obtain an insurance policy that covers blockages and damage to the main line. However, most policies only cover plumbing repairs within the house, or the cost of roofer service, most of which are relatively inexpensive.

Type of Material

Informational Conditions

The waste and drain pipes are not fully visible due to the style of construction

Components and Conditions Needing Service

The building is served by a combination of plastic and cast iron and galvanized pipes.

Plastic pipes were visible which is sign of past repairs and permits should be checked to verify compliance with local regulations.

Drain Pipes Waste Pipes and Vent Pipes

Informational Conditions

There are mature trees in the pathway of the main drainpipe, the roots of which can be problematic. Therefore, it would be prudent to ask the sellers if they have ever had any blockages, or you may wish to have the main drainpipe video-scanned.

A cleanout has been added to the waste system, which could confirm chronic blockages. Ask the sellers about this, or you may wish to arrange to have the waste pipes video-scanned to confirm their condition.

Inspection Address:
Inspection Date/Time:

Matilija Hot Springs Sanctuary PC 6500002881, Ventura County California.
2/23/2009 9:00 am



Private Waste Disposal System

Components and Conditions Needing Service

There is a distinct odor of sewage on the property at the stream bank that could indicate problems with the private sewage system, which should be evaluated by a specialist.

Water Heaters

General Gas Water Heater Comments

There are a wide variety of water heaters that range in capacity from fifteen to one hundred gallons. They can be expected to last at least as long as their warranty, or from five to eight years, but they will generally last longer. However, few of them last longer than fifteen or twenty years and many eventually leak. So it is always wise to have them installed over a drain pan that is plumbed to the exterior. Also, it is prudent to flush them annually to remove minerals that include the calcium chloride bi-product of many water-softening systems. The water temperature should be set at a minimum of 110 degrees Fahrenheit to kill microbes and a maximum of 140 degrees to prevent scalding. Also, water heaters can be dangerous if they are not seismically secured and equipped with either a pressure/temperature relief valve and discharge pipe plumbed to the exterior, or a Watts 210 gas shut-off valve.

We recommend the Gas Company or fuel provider service all gas systems prior to escrow close to improve safety.

When gas appliances are subject to impact, such as in a garage, we recommend protection from impact, some jurisdictions require a bollard or metal pipe or a parking bumper to protect the gas appliances.

The water heater enclosures all have significant defects ranging from missing seismic straps to rodent infestations and fire hazards. Improper combustion and venting were noted in the bath house. We recommend cleaning and service and evaluation prior to use.

Age Capacity and Location

Hot water is provided by a 40 gallon gas water heater that is located in the laundry room.

Hot water is provided by a , 50 gallon gas water heater that is located in an exterior cabinet or closet.

Hot water is provided by a 40 gallon gas water heater that is located in a hall closet.

Soot on the walls in the bathhouse closet indicate back drafting that should be evaluated prior to use.



Combustion Chamber

Informational Conditions

The water heater is not installed over a drain pan and a leak could result in water damage.

Components and Conditions Needing Service

There are rust particulates within the combustion chamber, which indicate wear and or age

Water Shut-Off Valve and Connectors

Components and Conditions Needing Service

Improper piping at the water heater should be evaluated by a qualified plumber: PVC pipes are improper.

Evidence of prior leaks. Kitchen, Bathhouse, Laundry.

Gas Shut-Off Valve and Connector

Informational Conditions

The gas control valve and its connector at the water heater are not tested.

There is no gas line drip leg as recommended by most manufacturers but rarely installed in this area..

Vent Pipe and Cap

Informational Conditions

No screws were visible on the vent pipe, which is the current standard. Suggest improvement to enhance safety.

Components and Conditions Needing Service

The vent pipe of the gas water heater is too close to combustible material, and should be serviced before the close of escrow. A single-walled vent pipe should be six inches away from any combustible material, and a double-walled vent pipe should be one inch away. In multiple areas.

Rust and or moisture stains were visible on the vent flue or in the enclosure which should be evaluated.

Pressure Release Valve and Discharge Pipe

Components and Conditions Needing Service

There is no pressure relief valve discharge pipe. One is required, and should be installed with a discharge pipe that extends to the exterior and terminates at a point no more than twenty-four inches above grade and no less than six inches to it.

The discharge pipe from the pressure relief valve on the water heater(s) should be plumbed to the exterior and terminate no more than twenty-four inches above grade and closer than six inches to it per current standards.

Drip Pan and Overflow Pipe

Informational Conditions

The water heater/s are not equipped with a drip pan or overflow pipe, which is designed to minimize water damage from a leak.

Components and Conditions Needing Service

Moisture stains, mold like stains and or damage visible in the closets / platform that should be investigated further.

Rodent presence noted in multiple water heater locations, this is a fire and venting safety issue that should be addressed prior to use.



Seismic Straps

Components and Conditions Needing Service

The water heater/s is not correctly secured, and needs to be strapped in accordance with local standards.

We recommend a plumber evaluate and repair as needed to improve safety.

Loose straps.

All water heaters should be strapped to current standards to resist movement during a seismic event

Sprinklers or Irrigation Systems

General Comments and Description

There are a wide variety of irrigation components, such as pipes that could include old galvanized ones, more dependable copper ones, and modern polyvinyl ones that are commonly referred to as PVC. However, among the latter, the quality can range from a dependable thick-walled type to a less dependable thin-walled type, and it is not uncommon to find a mixture of them. To complicate things, significant portions of these pipes cannot be examined because they are buried. Therefore, we identify a system based on what type of pipe that can be seen. However, our inspection only includes the visible portions of the system, and we do not test each component, nor search below vegetation for any concealed hose bibs, actuators, risers, or heads. We test every visually accessible manual sprinkler actuator and evaluate its coverage, but due to the variety and complexity of many automatic control panels we do not test them. However, inasmuch as the actuators are under pressure, we look for any evidence of damage or leakage, but recommend that you have the sellers demonstrate an automatic sprinkler system before the close of escrow and indicate any seasonal changes that they may make to the program. Association controlled areas are not inspected.

Automatic Polyvinyl Sprinklers

Informational Conditions

We do not evaluate automatic sprinkler systems, and recommend that you have the sellers demonstrate the system before the close of escrow, and indicate any seasonal changes that they may make in the program.



Gas Components

Gas Pipe Observations

Informational Conditions

Gas pipes were not protected in the ground or concrete, current standards require wrapping metal pipes for corrosion resistance.

Components and Conditions Needing Service

We recommend the fuel provider service all gas systems prior to the close of escrow for safety.

We did not observe a bonding system on the metal pipes in the property typically at the water heaters which would be required by current standards and is recommended to improve safety.

Gas Main Shut-Off Location

The gas main is located at the storage tanks.



Inspection Address:
Inspection Date/Time:

Matilija Hot Springs Sanctuary PC 6500002881, Ventura County California.
2/23/2009 9:00 am

Gas Main Observations

Informational Conditions

We recommend capping unused gas valves for safety: Kitchen

Fire Suppression System

Fire Sprinklers

Components and Conditions Needing Service

Fire suppression systems are specifically excluded from the inspection as we are not qualified to inspect them. We recommend checking the last certification date or evaluation by a qualified specialist.



Electrical

There are a wide variety of electrical systems with an even greater variety of components, and any one particular system may not conform to current standards or provide the same degree of service and safety. Regardless, we are not licensed electricians and in compliance with industry standards we only test a representative number of switches and outlets, and we do not perform load-calculations to determine if the supply meets the demand. However, in the interests of safety, we regard every electrical deficiency and recommended upgrade as a potential hazard that should be serviced immediately, and that the entire system be evaluated and certified as safe by a licensed contractor. Therefore, it is essential that any recommendations that we may make for service or upgrades should be completed within the inspection period, or before the close of escrow, because an electrician could reveal additional deficiencies or recommend some upgrades for which we disclaim any responsibility.

Main Panel

Size and Location

The residence is served by a 100 amp, 120/240 volt panel, located in the front.

We recommend you consult with an electrician to determine adequacy of the older existing system in light of planned changes in building use.



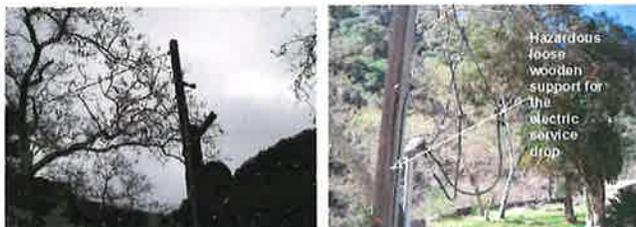
Service Entrance Mast Weatherhead etc

Components and Conditions Needing Service

The overhead conductor lines pass too low over the ridge of the flat or low pitched roof. Common safety standards require them to pass eight feet above a flat roof or that which has less than a 4:12 pitch, and you may wish to consult an electrician about this.

The utility company's overhead conductor lines may be stressed by tree limbs that should be trimmed away. The service entrance mast is made of wood and is loose, and not fully visible. At the post office kitchen building.

The service mast is bent at the bath house.



Interior Cover Panel

Components and Conditions Needing Service

The interior cover panel for the main electrical panel is missing, and should be replaced.



Wiring

Components and Conditions Needing Service

Improper wiring was noted, in many areas we recommend evaluation by a qualified specialist.

Grounding

Components and Conditions Needing Service

The main electrical panel ground to a water pipe may have been nullified by a plastic water pipe. Either an auxiliary ground should be established, or the panels should be re grounded by an electrician.

Sub Panels

General Comments

Sub-panels are commonly located inside buildings, but they should not be located inside closets, where they would not be obvious or readily accessible. However, when they are located outside, they are required to be weatherproof, unobstructed, and easily accessible, and their circuits should be clearly labeled.

Type of Wiring

Informational Conditions

The property is served by a combination of different wire types.

Inspection Address:
Inspection Date/Time:

Matilija Hot Springs Sanctuary PC 65000002881, Ventura County California.
2/23/2009 9:00 am

Size and Location

The property is served by many sub panels, each cabin, the main house, the kitchen, located in the pool equipment area.

Sub Panel

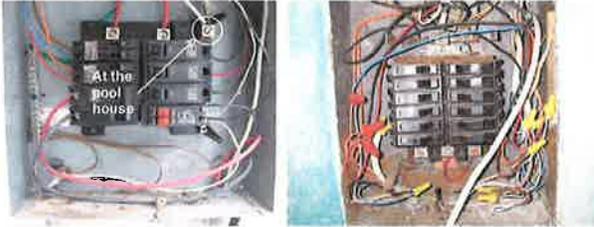
Informational Conditions

Various circuits within the sub-panels are not labeled, and should be serviced by an electrician.

Wiring

Components and Conditions Needing Service

Improper wiring was noted in the sub panel, which should be investigated and repaired as needed by a qualified professional.



Circuit Breakers

Components and Conditions Needing Service

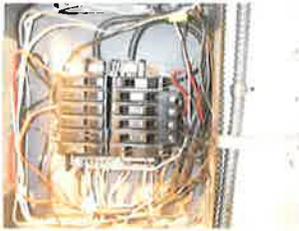
The electrical sub-panel includes obsolete, screw-in fuses that are too big for the wires in the circuits that they are protecting and create a potential fire-hazard, and should be serviced by an electrician.



Grounding

Components and Conditions Needing Service

Ground wires have been attached to the neutral bus bar which is incorrect and should be evaluated for service by an electrician. Kitchen sub panel.



Heat

The components of most heating and air-conditioning systems have a design-life ranging from ten to twenty years, dependant on the climate zone, but can fail prematurely with poor maintenance. We test and evaluate heating and air-conditioning systems in accordance with industry standards, which means that we do not attempt to dismantle any portion of them, or evaluate the following concealed components: the heat exchanger, or firebox, electronic air-cleaners, humidifiers, and in-line duct motors or dampers. You should also be aware that we do not evaluate or endorse any unvented heating devices that utilize fossil fuels, the presence of which sometimes confirms the inadequacy of the primary heating system. However, these and every other fuel burning appliances that are not vented are potentially hazardous. They can include open flames or heated elements, which are capable of igniting any of the myriad flammable materials found in the average home. Also, even the most modern of these appliances can produce carbon monoxide, which in a sealed or poorly ventilated room can result in sickness, debilitating injury, and even death. We perform a conscientious evaluation of heating and air-conditioning systems, but we are not specialists. Therefore, it is imperative that any recommendation that we may make for service or a second opinion be scheduled within the inspection period, or before the close of escrow, because a specialist could reveal additional defects or recommend further upgrades that could affect your evaluation of the property, and our service does not include any form of warranty or guarantee.

Heat System 1

Type of Fuel

Informational Conditions

The building is served by a gas-fueled heating systems.

We recommend the fuel provider service all fuel appliances prior to use.

Wall Furnace

Informational Conditions

Heat is provided by a older wall furnaces. Such furnaces are among the oldest and least efficient of heating systems, and you may wish to consider upgrading. However, it is imperative that they are kept clean and inspected annually and, if small children visit or occupy these premises, you should be aware the metal frames of such furnaces can become hot enough to burn the skin.

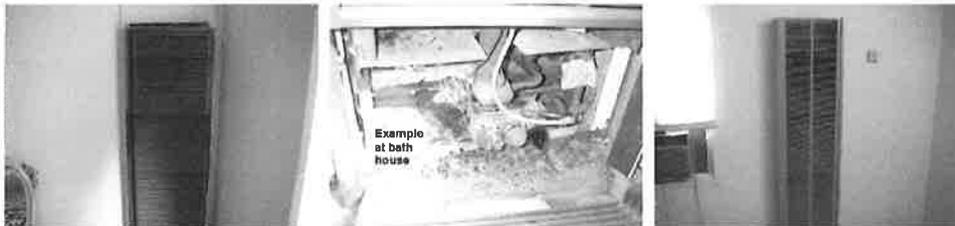
The wall furnace may not be capable of adequately heating the residence, and should be evaluated. It should be capable of bringing the temperature to seventy degrees, measured at any point three feet above the baseboard.

Components and Conditions Needing Service

Heat is provided by a disabled wall furnace. Therefore, it should be serviced and evaluated by an HVAC contractor.

Heat is provided by wall furnaces. However, many pilots are off, which prevented them from being tested. They should be serviced and evaluated by an HVAC contractor.

Rodent infested and altered in the bathhouse.



Vent Pipe

Components and Conditions Needing Service

The rusty vent pipes on the roofs should be evaluated further and or replaced to improve safety.



Heating and Air Conditioning

The components of most heating and air-conditioning systems have a design-life ranging from ten to twenty years, dependant on the climate zone, but can fail prematurely with poor maintenance. We test and evaluate heating and air-conditioning systems in accordance with industry standards, which means that we do not attempt to dismantle any portion of them, or evaluate the following concealed components: the heat exchanger, or firebox, electronic air-cleaners, humidifiers, and in-line duct motors or dampers. You should also be aware that we do not evaluate or endorse any unvented heating devices that utilize fossil fuels, the presence of which sometimes confirms the inadequacy of the primary heating system. However, these and every other fuel burning appliances that are not vented are potentially hazardous. They can include open flames or heated elements, which are capable of igniting any of the myriad flammable materials found in the average home. Also, even the most modern of these appliances can produce carbon monoxide, which in a sealed or poorly ventilated room can result in sickness, debilitating injury, and even death. We perform a conscientious evaluation of heating and air-conditioning systems, but we are not specialists. Therefore, it is imperative that any recommendation that we may make for service or a second opinion be scheduled within the inspection period, or before the close of escrow, because a specialist could reveal additional defects or recommend further upgrades that could affect your evaluation of the property, and our service does not include any form of warranty or guarantee.

Heat and AC - System 1

Through-Wall or Window Units

Informational Conditions

Our service does not include an evaluation of thru-wall or thru-window air-conditioning and heating units. The older ones are typically noisy and inefficient and, relative to the more modern ones, are expensive to operate. Check permits or consult a specialist on alterations to exterior wall framing, which is seldom visible.

Chimney

There are a wide variety of chimneys, which represent an even wider variety of the interrelated components that comprise them. However, there are three basic types, single-walled metal, masonry, and pre-fabricated metal ones that are commonly referred to as factory-built ones. Single-walled metal ones should not be confused with factory-built metal ones, and are rarely found in residential use, but masonry and factory-built ones are a commonplace. Our inspection of them is that of a generalist and not a specialist. However, significant areas of chimney flues cannot be adequately viewed during a field inspection, as has been documented by the Chimney Safety Institute of America, which reported in 1992: "The inner reaches of a flue are relatively inaccessible, and it should not be expected that the distant oblique view from the top or bottom is adequate to fully document damage even with a strong light." Therefore, because our inspection of chimneys is limited to those areas that can be viewed without dismantling any portion of them, and does not include the use of specialized equipment, we will not guarantee their integrity or drafting ability and recommend that they be video-scanned before the close of escrow.

Living Room Chimney

Free Standing Metal Chimney

Informational Conditions

The post office includes a modern reproduction of a free-standing metal chimney and fireplace, which appears functional, but was not tested. However, you should obtain the installation permit, and any other relevant documents that would instruct you in its proper use and maintenance.



Dining Room Chimney

Free Standing Metal Chimney

Informational Conditions

The dining room includes a free-standing metal chimney that should be evaluated by a specialist



Components and Conditions Needing Service

The main residence includes a free-standing metal chimney and fireplace, which should be evaluated by a specialist. Such metal chimneys, which are also commonly described as wood-burning or pot-belly stoves, are among the oldest of heat sources. However, besides being old and inefficient, they are rarely accepted by specialists as the sole means of heating a residence, and rarely regarded as being safe. For these reasons, we not not endorse them and recommend that that are evaluated by a specialist who is familiar with them.

Spark Arrestor

Components and Conditions Needing Service

There is no spark arrestor on the chimney, which is required by current standards, and should be installed.

Living Areas

Our inspection of living space includes the visually accessible areas of walls, floors, cabinets and closets, and includes the testing of a representative number of windows and doors, switches and outlets. However, we do not evaluate window treatments, or move furniture, lift carpets or rugs, empty closets or cabinets, and we do not comment on cosmetic deficiencies. We may comment on the cracks that appear around windows and doors, or which follow the lines of framing members and the seams of drywall and plasterboard. These cracks are a consequence of movement, such as wood shrinkage, common settling, and seismic activity, and will often reappear if they are not correctly repaired. Such cracks can become the subject of disputes, and are best

Inspection Address:
Inspection Date/Time:

Matilija Hot Springs Sanctuary PC 65000002881, Ventura County California.
2/23/2009 9:00 am

evaluated by a specialist. Similarly, there are a number of environmental pollutants that we have already discussed, the identification of which is beyond the scope of our service. However, there are a host of lesser contaminants, such as odors that are typically caused by moisture penetrating concealed slabs, or those caused by household pets. And inasmuch as the sensitivity to such odors is not uniform, we recommend that you make this determination for yourself, and particularly if domestic pets are occupying the premises, and then schedule whatever remedial service may be deemed necessary before the close of escrow.

Interiors

A Probable Renovation or Addition

Informational Conditions

Occupants belongings limit access and view at the interiors, do a careful check at the walk through for defects not visible during the inspection.

Doors

Informational Conditions

The exterior doors are functional but not weather sealed, light was visible through the gaps.

Flooring

Informational Conditions

The floor is out of level. in some areas. We can elaborate, but this condition should be evaluated by a specialist.

Components and Conditions Needing Service

Uneven areas were noted in the floors in all the cabins and common buildings. Floor coverings prevent visibility but soil and structural movement should be evaluated by a qualified Geo technical engineer.

Evidence of pests or rodents should be evaluated by qualified specialists.

Walls and Ceiling

Components and Conditions Needing Service

There is evidence of moisture intrusion that we will identify, at the post office, in cabin 4, in cabin 2, in cabin 3, in cabin 1, you should have these conditions evaluated by a contractor.



Prior moisture intrusion and damage was visible at the pool house. See the sellers for information on repairs if any. We recommend a termite inspection on the entire property.

Single-Glazed Windows

Informational Conditions

The windows will need service to work well, including cleaning, or servicing the hardware.

A window will need service to work well, such as shaving, sanding, trimming, etc.

The glass in the windows does not appear tempered or safety glass in the areas which would be required by current standards.

We recommend consulting a window contractor.

Moisture stains at some sills should be evaluated further.

Inspection Address:
Inspection Date/Time:

Matilija Hot Springs Sanctuary PC 65000002881, Ventura County California.
2/23/2009 9:00 am



Components and Conditions Needing Service

Several windows were moisture or insect damaged, and should be evaluated by a termite inspector. Post office / kitchen, main house.

Window screens are missing or damaged.

Lights

Informational Conditions

The ceiling fans were not tested. See the sellers for operation instructions and remotes.

Components and Conditions Needing Service

Several ceiling lights do not respond, and should be serviced.

There is an open electrical junction box, which should be sealed. Pool house, Mystery switches were not identified in some rooms, see the seller to help identify.



Outlets

Informational Conditions

There are not as many outlets as would be required by current standards, and you may wish to consult an electrician with a view to adding more.

Some ungrounded outlets were found which should be upgraded to current standards for improved safety

Components and Conditions Needing Service

Some outlets were improperly wired and should be evaluated or repaired by qualified specialists.



Inspection Address:
Inspection Date/Time:

Matilija Hot Springs Sanctuary PC 6500002881, Ventura County California.
2/23/2009 9:00 am

Entry

Front Door

Components and Conditions Needing Service

There is a crack in the panels of the front door.

Dining Room

Doors

Functional Components and Conditions

The door is functional.



Informational Conditions

The doors are worn and damaged.

Flooring

Informational Conditions

The floor is worn or cosmetically damaged, which you should view for yourself. The sub floor is not visible due to the floor coverings.

Components and Conditions Needing Service

The floor is out of level. We can elaborate, but this condition should be evaluated by a structural engineer or a foundation contractor.

Lights

Components and Conditions Needing Service

A ceiling light does not respond, and should be serviced.

There is an open electrical junction box, which should be sealed.

Outlets

Informational Conditions

There are not as many outlets as would be required by current standards, and you may wish to consult an electrician with a view to adding more.

Extension cords were noted in many areas indicating the electric system layout is inadequate at this time.

Components and Conditions Needing Service

Paint is restricting the outlets, which you may wish to replace.

Bathrooms

Our evaluation of bathrooms conforms to state or industry standards. We do not comment on cosmetic deficiencies, and we do not evaluate window treatments, steam showers and saunas, nor do we leak-test shower pans, which is the responsibility of the termite inspector. However, because of the possibility of water damage, most termite inspectors will not leak-test second floor shower pans without the written consent of the owners.

Inspection Address:
Inspection Date/Time:

Matilija Hot Springs Sanctuary PC 65000002881, Ventura County California.
2/23/2009 9:00 am

Powder Room

Size and Location

The mens and womens restrooms were serviceable.

The restrooms were not evaluated for compliance with Americans with Disabilities Act requirements.

Some deficiencies were noted.



A Probable Addition

Informational Conditions

The men's and women's toilet building is next to the laundry shed.

Doors

Functional Components and Conditions

The bathroom doors are functional.

Flooring

Informational Conditions

The floor is worn or cosmetically damaged, which you should view for yourself.

Components and Conditions Needing Service

The floor is out of level. We can elaborate, but this condition should be evaluated by a structural engineer or a foundation contractor.

Walls & Ceiling

Informational Conditions

The walls have typical cosmetic damage that is commensurate with time and use.

Sink Faucet Valves etc Trap & Drain

Informational Conditions

The bathroom sinks have typical cosmetic damage, such as stained or worn porcelain.

Toilet

Components and Conditions Needing Service

The toilet is blocked, or does not flush adequately, which could indicate a more serious blockage in the main waste line, which should be serviced service as soon as possible.

Foreign materials were visible in the toilet, bowl.

Lights

Components and Conditions Needing Service

There is an open electrical junction box that should be sealed.

Hazardous improper wiring was noted , which should be evaluated by a qualified specialist to improve safety.

Master Bathroom

Size and Location

The master bathroom has multiple showers in the bathhouse

Inspection Address:
Inspection Date/Time:

Matilija Hot Springs Sanctuary PC 65000002881, Ventura County California.
2/23/2009 9:00 am



A Probable Remodel

Informational Conditions

The bathroom appears to have been remodeled. Therefore, you should obtain documentation for your records so that you can be assured that the work was done with permit to professional standards, because we do not approve of, or tacitly endorse, any work that was done without permit, and latent defects could exist.

Flooring

Informational Conditions

The floor is worn or cosmetically damaged, which you should view for yourself.

Walls & Ceiling

Informational Conditions

The walls have typical cosmetic damage that is commensurate with time and use.

Components and Conditions Needing Service

There is evidence of moisture intrusion at the base of the walls, which should be explained or explored further. There is a mold-like substance that we will point out, which should be evaluated by a specialist. All molds flourish in a damp environment and many are commonplace, but some are toxic and represent a health threat.

Single-Glazed Windows

Components and Conditions Needing Service

A window will need service to work well, such as sanding, shaving, trimming, or servicing the hardware, etc

Sink Countertop

Components and Conditions Needing Service

The bathroom countertop is not secure, and should be serviced.

Sink Faucet Valves etc Trap & Drain

Informational Conditions

The bathroom sink has typical cosmetic damage, such as stained or worn porcelain. Corrosion at the faucet and valves was noted.

Shared Bathroom

Size and Location

The shared bathroom is a full bath. At the main house



Inspection Address:
Inspection Date/Time:

Matilija Hot Springs Sanctuary PC 65000002881, Ventura County California.
2/23/2009 9:00 am

Guest Bathroom 1

A Probable Remodel

Components and Conditions Needing Service

The guest bathrooms are not in regular use and were not fully operated, we cannot simulate regular use during the inspection and recommend sewer camera inspection and a through evaluation of the plumbing systems.

Flooring

Informational Conditions

The floor is worn or cosmetically damaged, which you should view for yourself.

Walls & Ceiling

Informational Conditions

The walls have typical cosmetic damage that is commensurate with time and use.

There is a moisture stain on the ceiling, which should be explained or explored further.

Stall Shower

Components and Conditions Needing Service

The shower drain is missing the grate and should be serviced.

Common Areas

Our evaluation of the common space, which includes the kitchen, hallway, stairs, laundry, and garage, is similar to that of the living space, and includes the visually accessible areas of walls, floors, cabinets and closets, and the testing of a representative number of windows and doors, switches and outlets. We pay particular attention to safety standards, such as those involving electricity and the integrity of firewalls, but we do not test portable appliances, including the supply and waste components of washing machines.

Kitchen

General Kitchen Comments

We did not inspect the kitchen equipment. Wear and tear were noted.
The gas appliance in Cabin 1 were shut down and not tested.



Doors

Components and Conditions Needing Service

The kitchen door leading to the exterior is functional, but it is not weather sealed.

The kitchen door leading to the exterior is damaged, and should be repaired or replaced.

Flooring

Informational Conditions

The floor is worn or cosmetically damaged, which you should view for yourself.

The floor seams are lifting due to moisture penetration or poor workmanship.

Components and Conditions Needing Service

The floor is out of level. This is not uncommon in a structure this old. We can elaborate, but this condition should be evaluated by a structural engineer or a foundation contractor.

Inspection Address:
Inspection Date/Time:

Matilija Hot Springs Sanctuary PC 65000002881, Ventura County California.
2/23/2009 9:00 am

Walls and Ceiling

Informational Conditions

The walls / ceilings in the kitchen have cosmetic damage.

Components and Conditions Needing Service

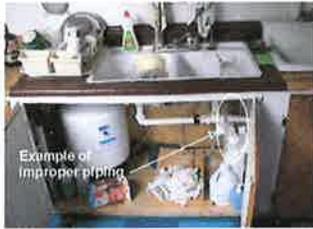
There is a moisture stain or patch on the kitchen ceiling, which you should ask the sellers to explain or have explored further.

Trap and Drain

Components and Conditions Needing Service

The drain lines below the sink are either negatively pitched, make unnecessary turns, include an illegal S-trap or have had amateur repairs, and should be evaluated by a plumber.

The sink employs an unconventional flexible drainpipe that could contribute to blockages.



Exhaust Fan or Downdraft

Components and Conditions Needing Service

The grease filter, or other components are missing from the exhaust fan, and should be installed.



Lights

Components and Conditions Needing Service

Exposed Romex wires were visible in the cabinet.

Improper wiring should be evaluated for repair to improve safety.

Outlets

Informational Conditions

All of the countertop outlets should be upgraded to have ground fault protection, which is mandated by current standards and is an important safety upgrade.

Components and Conditions Needing Service

Improper wiring was visible in the kitchen. Improper splices. Exposed wiring. Extension cords.



This report has been produced in accordance with our signed contract and is subject to the terms and conditions agreed upon therein.

All printed comments and the opinions expressed herein are those of the Inspection Company.

Inspection Narratives - Page 40

Inspection Address:
Inspection Date/Time:

Matilija Hot Springs Sanctuary PC 65000002881, Ventura County California.
2/23/2009 9:00 am

Laundry

General Laundry Room Comments

In accordance with industry standards, we do not test clothes dryers, nor washing machines and their water connections and drainpipes. However, there are two things that you should be aware of. The water supply to washing machines is usually left on, and their hoses can leak or burst under pressure and continue to flow. Therefore, we recommend replacing old rubber hoses with modern braided stainless steel types that are much more dependable. You should also be aware that modern washing machines discharge a greater volume of water than many of the older drainpipes can handle, which causes the water to back up and overflow. The only remedy for this is to enlarge the drainpipe.



A Probable Renovation or Addition

Informational Conditions

The Laundry area appears to have been remodeled, or an addition. If so, we recommend that you verify the permit and certificate of occupancy. This is important because our inspection does not tacitly approve, endorse, or guarantee the integrity of any work that was done without a permit, and latent defects may exist.

Flooring

Informational Conditions

The floor is worn or cosmetically damaged, which you should view for yourself.

Walls and Ceiling

Informational Conditions

The walls in the laundry room have cosmetic damage.

Valves and Connectors

Informational Conditions

Valves and connectors are not tested

If the appliances are part of the transaction they should be demonstrated prior to close of escrow.

Improper piping was present and permits should be checked on all alterations: PVC pipes in the laundry.

Dryer Vent

Informational Conditions

The back-draft on the exterior dryer vent cover is missing or incomplete, and should be repaired or replaced.

Not Visible

Informational Conditions

The area behind the washer and dryer was inaccessible. Stacked sets or storage areas block the view.

Pool and Spa

Pools and spas do leak. This may become apparent from secondary evidence during our inspection, which is purely visual. However, the owner or the occupant of a property would be aware that the water level drops regularly and must be topped off, and this should be disclosed. Unusually high water bills could reveal this, but only a pressure test of the pipes, a dye test of cracks, or a geo-phone test of specific areas would confirm it, and any such specialized test is beyond the scope of our service. Therefore, you should ask the sellers to

guarantee that the pool or spa does not leak, request to review the water bills for a twelve-month period, or obtain comprehensive insurance to cover such an eventuality.

Pool

General Comments and Description

The interior finish of pools and spas rarely remains perfect, and particularly on pools with colored plasters, and certainly if the chemical balance of the water is not properly maintained. Also, calcium and other minerals will have a tendency to leech through the material and mar the finish. This is equally true of pool tiles, on which mineral scaling is not only common but difficult to remove. Even the harshest abrasives will not remove some scaling, which sometimes has to be removed by bead-blasting, which in turn reduces the luster of the tiles. However, such imperfections have only a cosmetic significance. Similarly, the decks around pools and spas tend to develop cracks that have only a cosmetic significance. The commonest are relatively small, and are often described as being curing fractures. Some of these will contour the outline of the pool, or the point at which the bond beam, or structural wall of the pool, meets the surrounding soil. These too have little structural significance, but some cracks are larger and result from seismic motion, or from settling due to poorly compacted soils, or they confirm the presence of expansive soils, which can be equally destructive, but which should be confirmed by a geo-structural engineer. However, any crack in the shell of a pool or spa should be dye-tested or otherwise evaluated by a specialist.

Enclosures

Components and Conditions Needing Service

The gate that gives pool access does not fully comply with safety standards. Any gate that gives pool or spa access is required to self-close and include a latch at fifty-four inches, and should open away from the pool or spa, so that a toddler could not simply push open an unlatched gate.

The area enclosing the pool equipment is damaged and should be evaluated by an engineer or contractor to determine the cost of demolition verses repairs (if possible).

Foliage debris and stored items limit access and view.

The walkway is unsafe, damaged wood is a safety hazard.

Overall Pool Condition

Components and Conditions Needing Service

The pool will need to be serviced for the following reasons: The pool is dry, older and significantly damaged. The pool is not in use.



Interior Finish of Pool

Components and Conditions Needing Service

The pool is damaged and in poor condition and you should have it evaluated by a pool contractor with a view to having it removed or renovated.

Deck and-or Coping Stones

Informational Conditions

Sections of the deck have lifted or settled, as is evidenced by the offsets between the adjacent sections.

Components and Conditions Needing Service

The pool deck is significantly cracked buckled or heaved, probably as a result of seismic damage or the presence of expansive soils or moisture or poor construction techniques.

Regardless, the deck is compromised and should be evaluated by a specialist and repaired or replaced.

Inspection Address:
Inspection Date/Time:

Matilija Hot Springs Sanctuary PC 65000002881, Ventura County California.
2/23/2009 9:00 am

The original pool deck has been resurfaced, probably with a magnesite compound, or some such similar material. However, it is not uncommon for small patches of this material to separate and, therefore, should be monitored and maintained.



Expansion Joint

Components and Conditions Needing Service

The caulk in the expansion joint of the pool deck has deteriorated and cracked. This should be resealed to forestall moisture intrusion below the pool deck.

Supply Lines Return Lines and Valves

Informational Conditions

The valves are not tested.

Filter

Informational Conditions

The filter is an old and obsolete type, and you may wish to consider replacing it.

Heater

Components and Conditions Needing Service

The pool heater is old and deteriorated, but may not be worth servicing, and should be evaluated by a pool specialist.



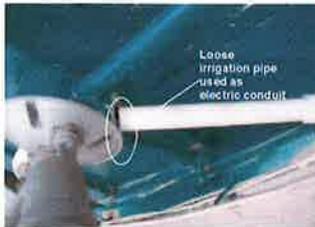
Outlets and Electrical Issues

Informational Conditions

National electrical standards require that all metal pool equipment be bonded to a common wire that conveys errant electricity harmlessly to ground, which we recommend as a safety upgrade.

Components and Conditions Needing Service

An outlet in the pool area has reversed polarity, but should be replaced with a safer ground-fault type. There is a separated electrical conduit in the pool area, which should be serviced.



The electric system in the pool area and the pool house is substandard and unsafe. Exposed wiring.

This report has been produced in accordance with our signed contract and is subject to the terms and conditions agreed upon therein.
All printed comments and the opinions expressed herein are those of the Inspection Company.

Ungrounded outlets. Improper wiring in the sub panels. Rust. Loose conduits. Irrigation pipe as conduit. No ground fault circuit interrupters in wet areas.

Spa

General Comments and Description

The bath house hot tubs have been drained and the equipment is not present. The tubs are not functional.

The interior finish of spas rarely remains perfect, and particularly those with colored plasters, and certainly if the chemical balance of the water is not properly maintained. Also, calcium and other minerals will have a tendency to leech through the material and mar the finish. This is equally true of spa tiles, on which mineral scaling is not only common but difficult to remove. Even the harshest abrasives will not remove some scaling, which sometimes has to be removed by bead-blasting, which in turn reduces the luster of the tiles. However, such imperfections have only a cosmetic significance. Similarly, the decks around pools and spas tend to develop cracks that have only a cosmetic significance. The commonest are relatively small, and are often described as being curing fractures. Some of these will contour the outline of the spa, or the point at which the bond beam, or structural wall of the spa, meets the surrounding soil. These too have little structural significance, but some cracks are larger and result from seismic motion, or from settling due to poorly compacted soils, or they confirm the presence of expansive soils, which can be equally destructive, but which should be confirmed by a geo-structural engineer. However, any crack in the shell of a spa should be dye-tested or otherwise evaluated by a specialist.

Enclosures

Informational Conditions

Damaged wood was noted at the enclosure, which should be evaluated and or repaired.

In-Ground Spa Condition

Components and Conditions Needing Service

The spas have been drained and were not inspected, and could not be inspected. They should be filled, serviced, and evaluated by a licensed pool contractor.

The property was a hot springs resort and many substandard piping elements were noted but the systems are incomplete.

We recommend that a spa specialist service as indicated within the report



Portable Spa Condition

Informational Conditions

The wooden spa was not evaluated as part of the inspection service, which should be evaluated by a pool contractor. You should also be aware of local ordinances governing spa safety.

Spa Motors

Components and Conditions Needing Service

One or more of the motors in the equipment area is missing.

National electrical standards require that motors be attached to a common bonding wire that conveys errant electricity harmlessly to ground, which we recommend as a safety upgrade.

Inspection Address:
Inspection Date/Time:

Matilija Hot Springs Sanctuary PC 65000002881, Ventura County California.
2/23/2009 9:00 am



Supply Lines Return Lines and Valves

Components and Conditions Needing Service

The spa filler valve is no longer functional, or may have been abandoned. You will need to use a garden hose, or have the filler valve repaired or replaced.

AFFILIATIONS AND CERTIFICATIONS



George Blair

Inspector

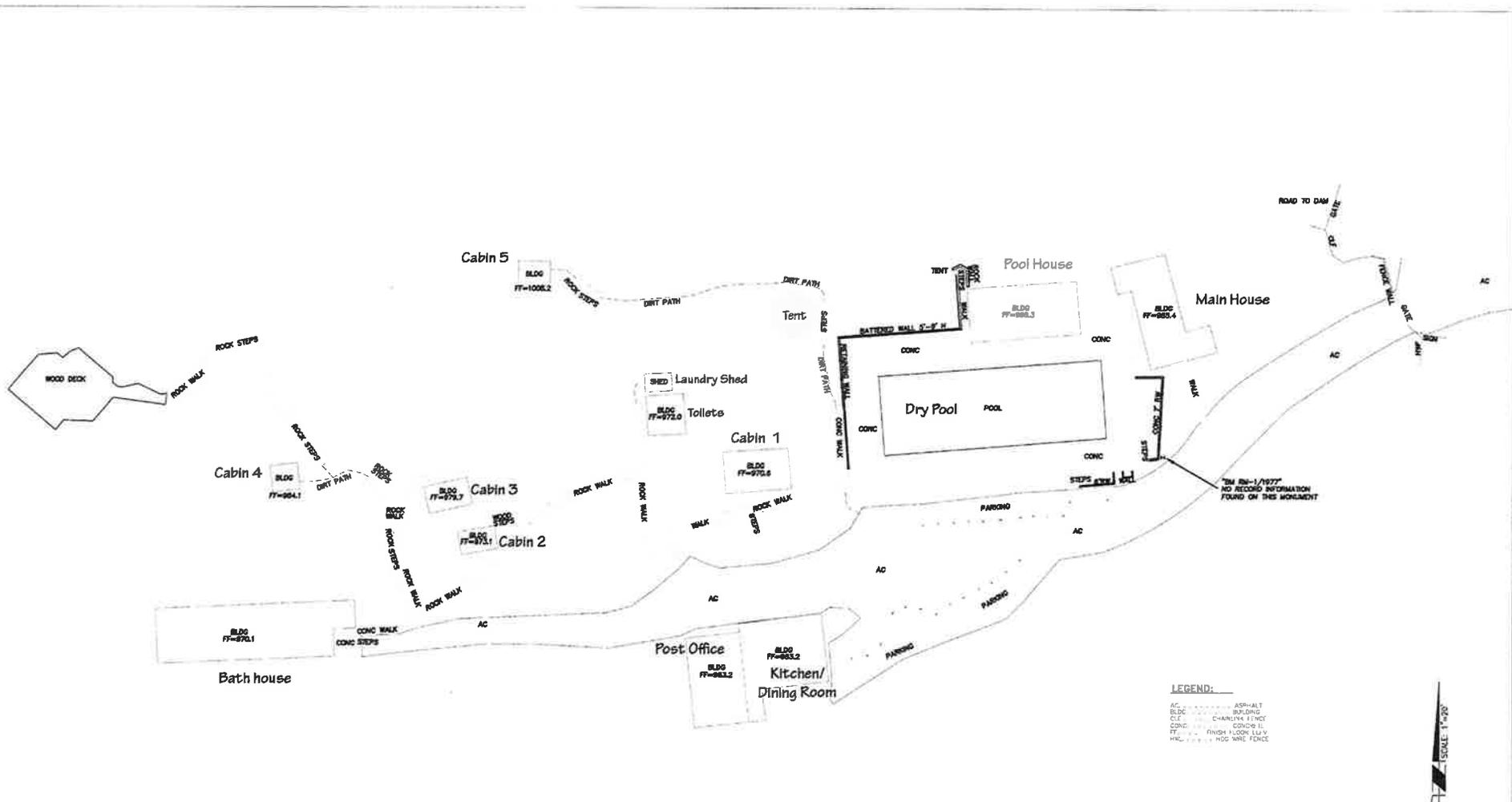
American Society of Home Inspectors Certified Inspector
California Real Estate Inspection Association Certified Inspector
Licensed General Contractor 439300 Inactive
League of California Homeowners Approved Inspector

REPORT CONCLUSION

We are proud of our service, and trust that you will be happy with the quality of our report. We have made every effort to provide you with an accurate assessment of the condition of the property and its components and to alert you to any significant defects or adverse conditions. However, we have not tested every outlet, and opened every window and door, or identified every minor defect. Also because we are not specialists or because our inspection is essentially visual, latent defects could exist. Therefore, you should not regard our inspection as conferring a guarantee or warranty. It does not. It is simply a report on the general condition of a particular property at a given point in time. Furthermore, you should expect problems to occur. Roofs will leak, drain lines will become blocked, and components and systems will fail without warning. For these reasons, you should take into consideration the age of the property and its components and keep a comprehensive insurance policy current. If you have been provided with a home protection policy, read it carefully. Such policies may only cover insignificant costs, such as that of roofer service, and the representatives of some insurance companies may deny coverage on the grounds that a given condition was preexisting or not covered because of a code violation or manufacture's defect. Therefore, you should read such policies very carefully, and depend upon our company for any consultation that you may need.

Please be aware that "qualified" experts often disagree on causes and cures for systems contained in your property we recommend you thoroughly evaluate such experts and satisfy yourself as to their qualifications.

Thank you for taking the time to read this report, and call us if you have any questions or observations whatsoever. We are always attempting to improve the quality of our service and our report, and we will continue to adhere to the highest standards of the industry and to treat everyone with kindness, courtesy, and respect.



LEGEND:
 AC: ASPHALT
 BLDG: BUILDING
 CLE: CHAIN LINK FENCE
 CONC: CONCRETE
 FT: FINISH FLOOR ELEV.
 HMC: MOD WIRE FENCE



COORDINATES AND ELEVATIONS
 BEARINGS AND COORDINATES AS SHOWN HEREON ARE IN TERMS OF THE CALIFORNIA COORDINATE SYSTEM OF 1983 (CPCS) (PROJ. 2007.0), ZONE 3, BASED LOCALLY UPON THE FOLLOWING CONTINUOUSLY OPERATING REFERENCE STATIONS AS PUBLISHED BY THE NGS: STATIONS CSST, HYTS AND AN80.
 ELEVATIONS ARE IN FEET AMSL.

THE PURPOSE OF THIS MAP IS TO PROVIDE VENTURA COUNTY WATERSHED PROTECTION DISTRICT A MAP SHOWING PLANNING OF THE EXISTING SITE IMPROVEMENTS FOR APN 010-160-430.

NOTE:
 FIELD SURVEY IN NOV-DEC 2008.

PREPARED FOR:	VENTURA COUNTY WATERSHED PROTECTION DISTRICT	REV No.	2/25/2009
PROJECT SITE:	4418 LJA DAM D.J.A.I. CA	DRAWN BY:	SW
		CHECKED BY:	1-14-2009
		PLT SCALE:	

SITE EXHIBIT

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